

CHAPTER 3 Project Description

The proposed Senior Center Project (proposed project) would result in development of a 45,000-square-foot (sf) senior center on approximately 5 acres of undeveloped land within the Huntington Beach Central Park.

3.1 PROJECT LOCATION

The proposed project is located within the City of Huntington Beach in western Orange County, California. Figure 3-1 (Project Vicinity and Regional Location Map) illustrates the project site's regional location and vicinity. The proposed project is located within an undeveloped 14-acre area west of the intersection of Goldenwest Street and Talbert Avenue, within the 356-acre Huntington Beach Central Park (refer to Figure 3-2 [Project Site and Surrounding Land Uses]). The Huntington Beach Senior Center Project would be constructed on approximately 5 acres (project site) within the southern portion of this undeveloped area.

3.2 EXISTING SITE CHARACTERISTICS

Existing characteristics of the project site are summarized in Table 3-1. An aerial photo of the site is provided in Figure 3-3 (Aerial Overview).

Table 3-1 Summary of Existing Site Characteristics	
<i>Component</i>	<i>Relevant Information</i>
Applicant/ Property Owner	City of Huntington Beach
Assessor's Parcel Number (APN)	110-170-15
Site Area	Approximately 5 acres
Existing Land Use	Vacant land
Topography	Generally flat, sloping gently from east to west
Zoning Designation	OS-PR (Open Space—Parks and Recreation)
General Plan Designations	OS-P (Open Space—Parks)

Currently, the project site is vacant and generally flat. Vegetation on the project site is limited, as the majority of the site consists of unvegetated, bare landscape. The project site is located within a relatively low-lying area where drainage sheet flows to the west and northwest towards the Slater Channel. The east side of the site is approximately 26 feet above mean sea level (MSL) and slopes towards the west to about 14 feet above MSL.¹

¹ Ninyo & Moore, *Preliminary Geotechnical Investigation*, 2007.

The northern, eastern, and southern boundaries of the project site are situated at the base of small bluffs. A stockpile of soil, or earthen berm, is on the north approximately 8 feet high,² and to the west there is open parkland that gradually slopes downward, away from the project area. The earthen berm, which frames the northern boundary of the site, slopes from Goldenwest Street towards the west bisecting the approximate center of the 14-acre undeveloped area. The 5-acre project site is bordered on the east by a slope ascending up to Goldenwest Street and on the south by a slope ascending up to the disc golf course facility. These slopes are located at an elevation of approximately 39 feet MSL.³ Therefore, these areas are elevated between approximately 13 and 25 feet above the project site.

An existing 15-inch sewer line runs in an east-west direction immediately south of the project site (off site), and continues in a north-south direction parallel to Goldenwest Street across the eastern portion of the project site.

There is one existing temporary disc golf hole located at the southern boundary of the site. This hole would be relocated back to the official permanent disc golf course area located immediately south of the project site, in order to maintain an 18-hole disc golf course.

Due to the undeveloped nature of the area, there are no currently designed uses for the project site. However, informal use of the site occurs as people walk through the site to access the developed parkland and pedestrian path just west of the project site. In addition, nearby schools occasionally use the area as part of a larger cross-country route through Central Park, and incidental remote control vehicle use occurs on the site.

3.2.1 Surrounding Land Uses

Figure 3-2 (Project Site and Surrounding Land Uses) illustrates the surrounding land uses. Bordering the project site to the south is a parking lot and disc golf course. To the west of the site is a group picnic area and passive recreational uses. Bordering the study area to the north of the earthen berm is undeveloped property (beyond which is a parking lot and the Shipley Nature Center), and to the east is Goldenwest Street (beyond which is a parking lot, Sports Complex, and Central Library.)

3.2.2 Existing General Plan/Zoning Designations

The project site has a General Plan Land Use designation of OS-P (Open Space—Parks) and a Zoning designation of OS-PR (Open Space—Parks & Recreation). These designations allow for public park and recreational facilities on the project site.⁴ The OS-PR designation was established to provide areas for public or private use and areas for presentation and enhancement, specifically for parks and recreation. Within the OS-PR lands, park and recreation facilities are subject to Conditional Use Permit (CUP) approval by the City of Huntington Beach Planning Commission.

² SWCA, *Cultural Resources Survey and Testing Report*, 2007.

³ Fuscoe Engineering, *Conceptual Grading and Utility Plan*, 2007 (Figure 3-7 [Project Description])

⁴ City of Huntington Beach, *General Plan Land Use Element*, Table LU-2a.





FIGURE 3-2
Project Site and Surrounding Land Uses

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FIGURE 3-3
Aerial Overview

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Huntington Beach Senior Center EIR

The site is currently identified as the future location of the Low Intensity Recreation Area in the Master Plan of Recreational Uses for Central Park (Central Park Master Plan.)

3.2.3 Site Background

Although the site is currently undeveloped, historical records indicate that a single-family residence was located on the project site from as early as 1938. However, the residence was demolished sometime in the 1960's before the City acquired the property for Central Park. There is no remaining evidence of this previous use on the present-day project site.

The site was previously analyzed as part of the City's 1999 Master Plan EIR for the Master Plan of Recreation Uses for Central Park (Master Plan EIR). That EIR considered program and project-level improvements for a 157.5-acre study area. At the time the EIR was prepared, the site was considered for use as a low-intensity recreation area, although this use was never developed on site. Because the Master Plan EIR is more than five years old and the proposed project represents a departure from the uses identified for the site in the Master Plan EIR, the previous EIR is used for background information where appropriate, but it is not used for tiering purposes.

According to the Central Park Master Plan EIR, prior usage of Central Park (prior to 1974) generally included mining of peat and sandy soils as well as disposal of solid wastes and inert debris. However, solid waste disposal did not occur on the project site. Rather, a portion of the area that is now occupied by the Sports Complex previously operated as the Gothard Landfill until its closure in 1962. Although the former landfill operated across Goldenwest Street to the east of the site, the Central Park Master Plan EIR did not identify any particular hazardous materials incidents or potentially hazardous materials in the area of the project site.

3.3 PROPOSED PROJECT CHARACTERISTICS

3.3.1 Project Background

The City's existing 14,505 sf senior center is located at 1706 Orange Avenue and began operating in 1975. The California Department of Finance projected that the number of seniors in Huntington Beach will increase by approximately 64 percent within a 15-year period from 2005 to 2020. Between the years 1994 and 2004, the program participation levels for senior services in Huntington Beach nearly doubled. The level of service the current senior center provides will not be able to keep up with the anticipated population growth due to a deficiency in facilities to serve the needs of this population.

The rapid rate of anticipated population growth of seniors provided the impetus for the City to evaluate its current programs and facilities. Consequently, the City of Huntington Beach commissioned the architectural firm of LPA, Inc, and TSMG, Inc. a national consulting firm, to study the feasibility of constructing and operating a new senior center for its senior population. Through the findings and recommendations presented in the Feasibility Study, Measure T was enacted (and passed) in the November 2006 election, which proposed the new senior center in the currently identified project

location. Funding for the proposed project would be provided by park in-lieu fees, which became available due to an owner participation agreement for a downtown development.

If approved, the proposed project would replace the existing senior center within the City. The exact future use of the existing senior center (pending approval of the proposed project) has not yet been determined. However, as required per the deed restriction on the existing senior center, the property would be used for recreational purposes.

3.3.2 Proposed Development

The proposed Huntington Beach Senior Center Project involves development of a new one-story multi-purpose senior center on undeveloped land. Figure 3-4 (Site Plan) provides a conceptual site plan, depicting the senior center building, parking and open space areas, and access to the project site. The preliminary elevations are illustrated on Figure 3-5 (Preliminary Elevations: North and East) and Figure 3-6 (Preliminary Elevations: South and West), while Figure 3-7 (Conceptual Grading and Utility Plan) illustrates the conceptual groundwork anticipated for the project. Additionally, Figure 3-8 (Preliminary Landscape Plan) illustrates the general location and type of proposed landscaping on the project site. Key features of the project are summarized in Table 3-2.

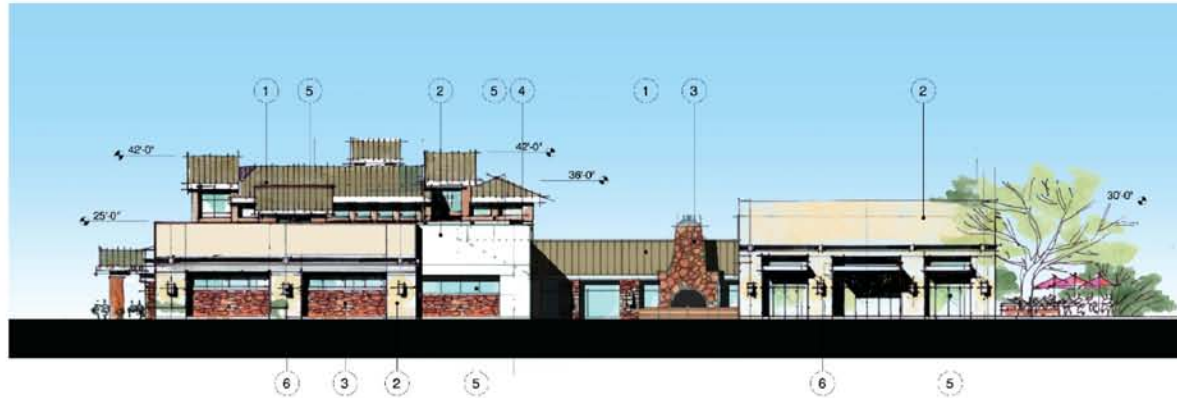
Table 3-2 Summary of Project Site Characteristics	
<i>Component</i>	<i>Site Characteristics</i>
Proposed Land Use	Recreational—Senior Center
Proposed Development Intensity	45,000 sf
Building Height	One story, approximately 30 feet in height, with architectural features reaching up to 46 feet
Total Development Footprint	Approximately 5 acres
Proposed Parking Spaces	Approximately 227 spaces for visitors and City vehicles
Open Space	Outdoor patio and outdoor recreation/activity area
Project Access	Vehicular: Access driveway at Goldenwest Street/Talbert Avenue Pedestrian: Goldenwest Street, via ADA-accessible ramp along Talbert Avenue

SOURCE: KKE Architects, Site Plan, 2007
KKE Architects, Elevations, 2007

The 5-acre development would comprise the senior center, parking areas, vehicular storage, outdoor common areas, and a service area. Open space areas would consist of courtyards, gardens, and landscaping/planting pocket areas. Landscaping around the building and parking lot would be drought-tolerant, low water usage-type vegetation.

A new access driveway planned at Goldenwest Street and Talbert Avenue for access/egress to the project site would be designed as part of the proposed project. An existing traffic signal at this location would be modified for traffic to enter the project site. As Goldenwest Street is elevated above the site, an ADA ramp from the site to the intersection as well as from the OCTA bus stop located near the Goldenwest Street/Talbert Avenue intersection would be provided for pedestrian access.





1. NORTH ELEVATION



2. EAST ELEVATION

MATERIALS

- 1. STANDING METAL SEAM ROOF
- 2. STUCCO
- 3. DRY STACK STONE
- 4. WOOD/METAL RAFTERS
- 5. GLAZING
- 6. LIGHT FIXTURE
- 7. WOOD TRELLIS

Source: KKE Architects, Inc., 2007.

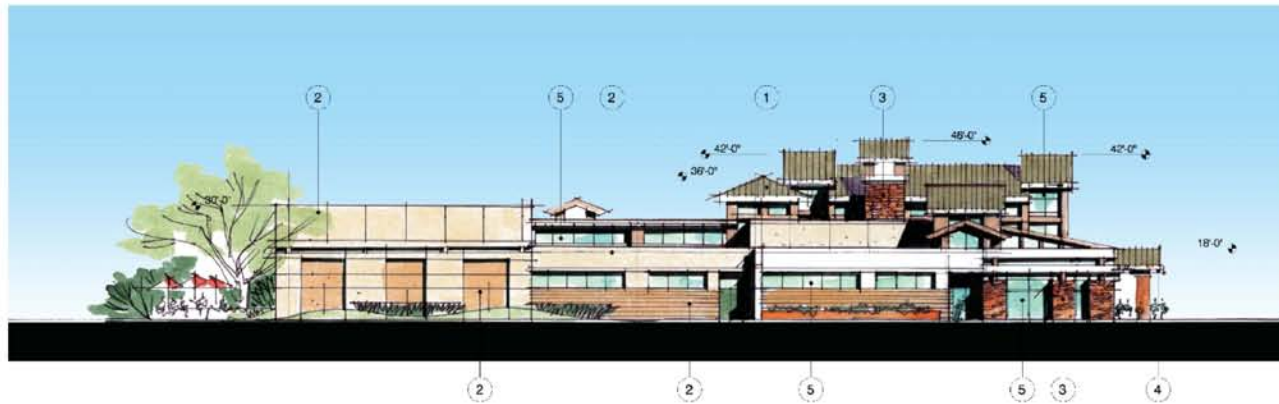


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FIGURE 3-5
Preliminary Elevations – North and East

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Huntington Beach Senior Center EIR



3. SOUTH ELEVATION

MATERIALS

- 1. STANDING METAL SEAM ROOF
- 2. STUCCO
- 3. DRY STACK STONE
- 4. WOOD/METAL RAFTERS
- 5. GLAZING
- 6. LIGHT FIXTURE
- 7. WOOD TRELLIS



4. WEST ELEVATION

Source: KKE Architects, Inc., 2007.

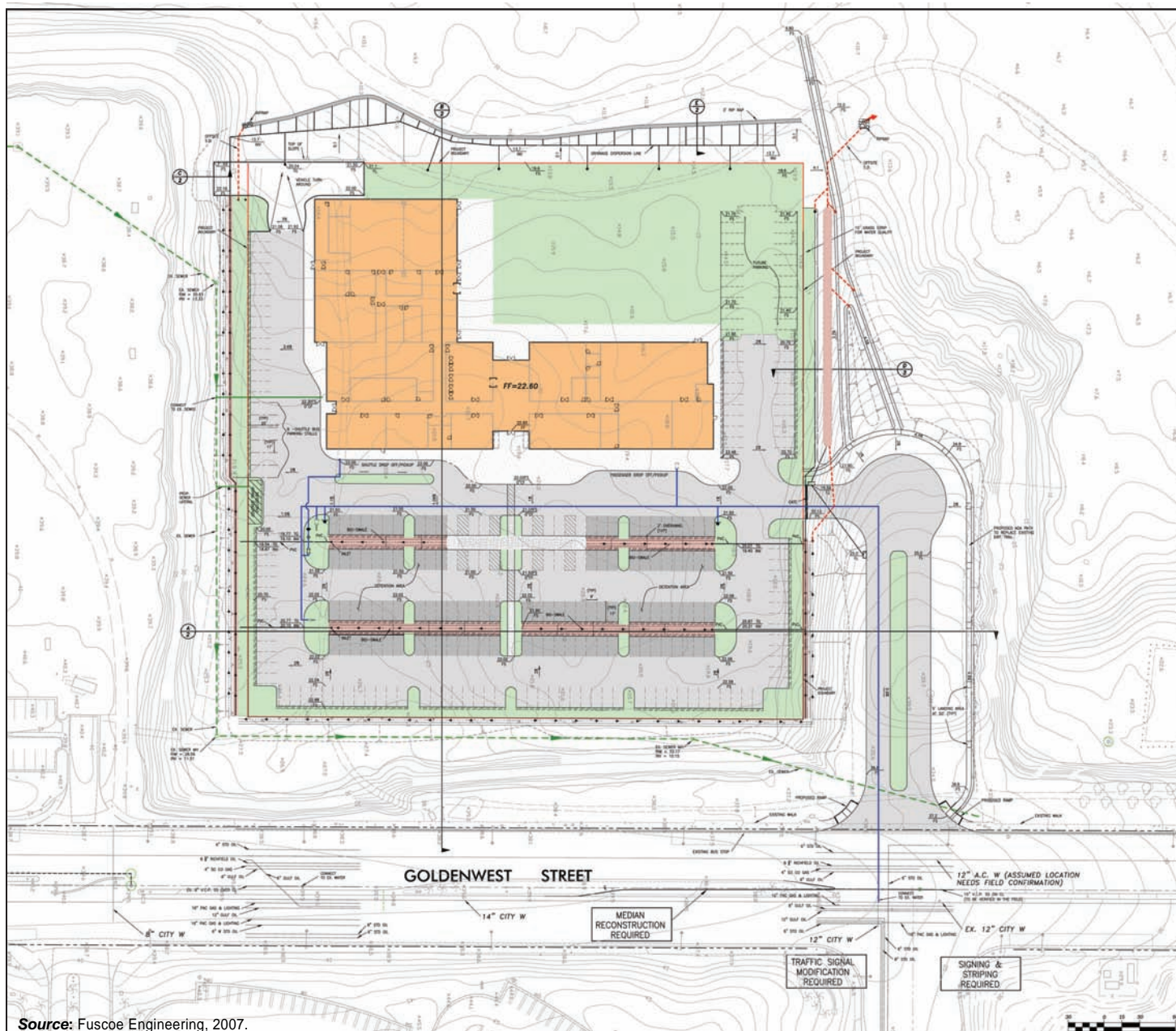


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FIGURE 3-6
Preliminary Elevations – South and West

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Huntington Beach Senior Center EIR



LEGEND

- WATER LINE
- SEWER LINE
- OFF-SITE STORM DRAIN
- ON-SITE STORM DRAIN
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- DETECTOR CHECK & METER
- IRRIGATION METER WITH BACKFLOW WATER METER
- ACCESSIBLE PATH
- LANDSCAPE AREA
- DETENTION AREA
- SENIOR CENTER
- ASPHALT
- BIO-SWALE
- 2' OVERHANG
- CATCH BASIN

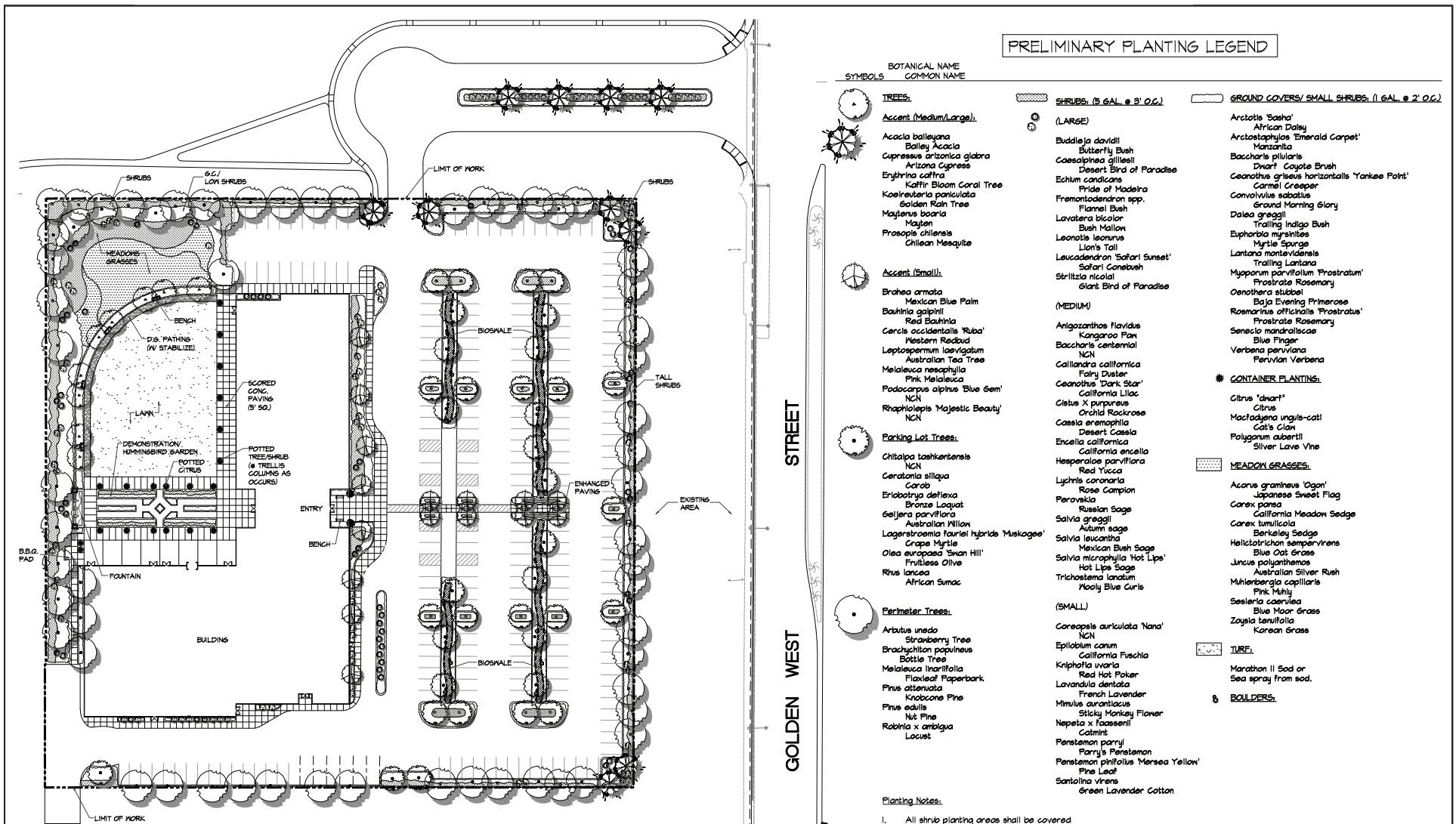
Source: Fuscoe Engineering, 2007.



FIGURE 3-7
Conceptual Grading and Utility Plan

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Source: Lynn Capouya Inc., 2007.



FIGURE 3-8
Preliminary Landscape Plan

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Huntington Beach Senior Center EIR

A total of 227 parking spaces would be provided in three main parking lots. In addition, six shuttle bus stalls and an area for future parking expansion would be able to accommodate an additional 24 stalls.

3.3.3 Proposed Facility Uses

The Senior Center would be used for a variety of recreational programs and activities serving senior citizens. Primary uses include:

- Recreation and social services
- Seniors Outreach Program—transportation, meals, counseling/visitation
- Public meetings or receptions when not occupied by primary functions

These uses would occur in the following rooms within the building, as shown in Figure 3-4 (Site Plan):

- Multi-use rooms
- Community Hall
- Group exercise room
- Fitness room
- Arts/crafts room
- Multi-use classrooms
- Kitchen
- Dance room
- Lobby
- Administrative area (offices, resource center, transportation area)

The facility would primarily be used weekdays, from 8:00 A.M. through 4:30 P.M.. Permitted hours of operation of the Senior Center are shown below in Table 3-3. These hours of operation are comparable to those of the City's community centers.

Table 3-3 Permitted Facility Hours of Operation.		
Day	Normal hours of operation	Classes and activities
Monday through Friday	8:00 A.M.–4:30 P.M.	4:30 P.M.–10:00 P.M.
Saturday and Sunday	none	8:00 A.M.–10:00 P.M.
Special Events in multi-purpose room (Reservation required)		
Sunday through Thursday	Until 10:00 P.M.	
Friday and Saturday	Until 12:00 A.M.	
SOURCE: City of Huntington Beach 2007.		

When recreational and social programs are not using the rooms in the center, they could be used for public meetings or receptions. An outdoor patio would adjoin the multi-purpose rooms onto which programs could be extended.

3.3.4 Amendment to the Master Plan of Recreation Uses for Central Park

The proposed project would require an amendment to the existing land use designation for the project site as designated by the Central Park Master Plan. As discussed previously, this area is currently designated as a Low Intensity Recreation Area, which could include barbeque and picnic amenities, a restroom, tot-lot, open turf area, and parking uses. Development of the proposed project would require a land use designation from low to high intensity recreation on the 5-acre project site. The remainder of the 14-acre undeveloped area would remain designated as low intensity.

3.3.5 Vehicular Access, Circulation, and Parking

■ Off-Site Vehicular Circulation and Parking

Goldenwest Street. Goldenwest Street is located immediately east of the project site. A new access driveway planned at Goldenwest Street and Talbert Avenue for access/egress to the project site would be designed as part of the proposed project. Implementation of the proposed project would require an additional northbound through lane at the intersection of Goldenwest Street and Slater Avenue (located north of the project site). This would be provided by restriping the existing northbound right turn lane, without any physical roadway widening.

Talbert Avenue. Talbert Avenue is a two lane divided roadway providing access to the Huntington Central Park and Library. A new extension to the west leg of Talbert Avenue (at Goldenwest Street), at the location of the existing earthen berm, would be the project site access driveway. The project driveway would be signaled controlled, and the intersection would be designed to minimize confusion through signage and separation of turn lanes.

■ On-Site Vehicular Access, Circulation, and Parking

As mentioned above, access to the project site would be provided from a new entry driveway (extending Talbert Avenue along the existing earthen berm) at Goldenwest Street. There is an existing signal at this location that would have to be modified for traffic to enter this currently undeveloped site. Goldenwest Street is elevated above the site; therefore, it would be necessary to provide ADA ramp access from the site to the intersection, as well as from the OCTA bus stop located near the Goldenwest Street/Talbert Avenue intersection.

Thirteen small buses and vans would serve the senior transportation program. Only four to six vehicles would be stored on site at a given time.

As shown in Figure 3-4 (Site Plan), a total of 227 parking spaces would be provided in the following lots:

- Main Lot—191 stalls
- North Lot—22 stalls
- South (employee) Lot—14 stalls

In addition, six bus shuttle stalls would be provided east of the South Lot, and an area for future parking expansion would be located west of the North Lot, and would be able to accommodate an additional 24 stalls.

3.3.6 Other Improvements

■ Site Elevation

The five acre project site is located within a larger 54-acre parcel (legal lot) of Central Park. A portion of this 54-acre parcel has been delineated on Federal Emergency Management Agency (FEMA) flood maps as being within Zone “A”. Thus, because a portion of the larger parcel is within a flood hazard area, this would require the structure to be built one foot higher than the Base Flood Elevation (BFE). The BFE for the project site is approximately 9.5 feet. Because the elevation of the project site ranges from 14 feet above msl to 26 feet above msl, the building would not have to be further elevated. However, a flood elevation certificate would have to be completed for the project.

■ Ancillary Project Activities

Infrastructure improvements (i.e., utilities, onsite roadways, adjacent access driveway, etc.) necessary to serve the proposed development would be constructed. Development of the project would not require ties into an existing piped storm drain system; rather, the proposed development would direct runoff via sheet flow to the nearby Huntington Lake. Site-specific stormwater drainage facilities include bioswales, vegetated buffer areas, and off-site dispersion piping. Roof drainage would be directed through pipes to pop-up emitters in the lawn area. Water would flow across the grass to drainage inlets and into the diffuser pipe that would empty into the park. In addition, a new water line would be constructed to connect to the existing line along Goldenwest Street. A minimum of two fire hydrants would be located onsite. New sewer conveyance pipes would be constructed to connect to the City’s existing 15-inch sewer line that runs across the eastern portion of the project site, parallel to Goldenwest Street.

The proposed project would also require the construction of new electrical facilities; construction activities may include trenching and construction of a new conduit, structure pad, and transformer. However, this estimate is based on preliminary information and consultation with SCE. Once final site plans are prepared for the proposed project, additional consultation with SCE would be required to verify electrical load of the project and determine the type and location of structures to be constructed.

3.4 CONSTRUCTION SCENARIO

Construction of the proposed project is anticipated to occur over approximately 20 months beginning in 2008. Grading is expected to generally consist of minor cut and fill operations of up to 10 feet. After grading activities are completed, construction of wet and dry utilities would commence, and construction of curbs and gutters would follow. Construction of the senior center would occur in one phase, followed by construction of the open space and parking areas. It is anticipated that construction would be completed in 2010; however, full project occupancy is anticipated to occur by 2012.

3.5 PROJECT OBJECTIVES

The objectives of the proposed project, as identified by the City are as follows:

- Implement the policies and development standards of the City's General Plan and Zoning and Subdivision Ordinance (ZSO)
- Create a development that is compatible with and sensitive to the existing land uses in the project area
- Enhance the community image of Huntington Beach through the design and construction of high quality development consistent with the Urban Design Element of the City's General Plan
- Ensure adequate utility infrastructure and public services for new development
- Provide a centrally located senior recreation and human service facility within the City
- Build a new facility large enough to meet current and future demand as a result of an increasing senior population
- Provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area
- Mitigate environmental impacts to the greatest extent possible

3.6 INTENDED USES OF THIS EIR

This EIR is a Project EIR, as defined in CEQA Guidelines 15161, and analyzes the impacts of a specific project—the Huntington Beach Senior Center Project. This EIR has been prepared to analyze potentially significant environmental impacts associated with the planning, construction, and operation of the project. This EIR is intended to provide decision-makers and the public with information that enables them to consider the environmental consequences of the proposed project. EIRs not only identify significant or potentially significant environmental effects, but also identify ways in which those impacts can be reduced to less-than-significant levels, whether through the imposition of mitigation measures or through the implementation of specific alternatives to the project. In a practical sense, EIRs function as a technique for fact-finding, allowing concerned citizens, City staff, and decision makers an opportunity to collectively review and evaluate baseline conditions and project impacts through a process of full disclosure.

3.7 PUBLIC ACTIONS AND APPROVALS REQUIRED

3.7.1 City of Huntington Beach

This EIR is being prepared by the City of Huntington Beach to assess the potential environmental impacts that may arise in connection with actions related to implementation of the proposed project. The City of Huntington Beach is the Lead Agency for the project and has discretionary authority over the project and project approvals.

This EIR serves as the required environmental documentation for the following discretionary approvals that are required to implement the proposed project:

- **Conditional Use Permit Request**—To permit construction of a senior recreation facility in Huntington Beach Central Park with a three-foot grade differential
- **Design Review** approval.
- **Central Park Master Plan Amendment**—Amendment to the Central Park Master Plan land use designation for the five acre project site from the current low intensity designation to the proposed high intensity designation.

3.7.2 State and Local Agencies

In addition to the City of Huntington Beach (the Lead Agency), there are also federal, regional, and State, responsible agencies that have discretionary or appellate authority over the project and/or specific aspects of project. The responsible agencies will also rely on this EIR when acting on such projects. Those federal, State, or local agencies that would rely upon the information contained in this EIR when considering approval include, but are not necessarily limited to, the following:

- California Regional Water Quality Control Board (Permit for dewatering during construction; and National Pollutant Discharge Elimination System [NPDES] permit)
- State Water Resources Control Board (General Construction Activity Stormwater Permit)
- Orange County Sanitation District—Waste service
- California Department of Fish and Game
- United States Fish & Wildlife Service

3.8 CUMULATIVE DEVELOPMENT SCENARIO

Section 15355 of the CEQA Guidelines defines “cumulative impacts” as “two or more individual effects that, when considered together, are considerable or that compound or increase other environmental impacts.” In general, these impacts occur in conjunction with other related developments whose impacts might compound or interrelate with those of the project under review.

In order to analyze the cumulative impacts of the project in combination with existing development and other expected future growth, the amount and location of growth expected to occur (in addition to the proposed project) must be considered. Section 15130(b) of the CEQA Guidelines allows the following two methods of prediction:

- A. A list of past, present, and reasonably anticipated future projects producing related or cumulative impacts, including those projects outside the control of the agency, or
- B. A summary of projections contained in an adopted general plan or related planning document which is designed to evaluate regional or area wide conditions.

This EIR primarily uses a list of cumulative projects for the cumulative analysis, because the types of impacts anticipated from the project are primarily local in nature and would not be affected by regional development. However, where use of regional projections is appropriate for the cumulative analysis of a particular resource, this is specified in the cumulative discussion of that resource in Chapter 4 (Environmental Analysis). Table 3-4 summarizes cumulative development projects within the vicinity of the project area.

Table 3-4 Cumulative Projects

<i>No.</i>	<i>Project Name</i>	<i>Major Project Features</i>	<i>Project Status</i>
Projects Located within One Mile of Project Site			
1	Gun Range	The City will prepare an EIR for clean-up and reuse of the site located in Central Park east of the Sports Complex.	An RFP has been circulated to hire a consultant for the EIR.
2	Talbert Lake Water Quality Project	The Talbert Lake Diversion Project would divert up to 3 million gallons per day of urban runoff from the East Garden Grove Wintersburg Channel, through pre-treatment devices, and into a 15-acre area in Central Park for treatment to remove pollutants, thereby significantly reducing pollutant loading to the coastal receiving waters. Project components will include a channel diversion structure, pump station, control system, existing pipeline inspection and rehabilitation, additional conveyance piping, pretreatment, Natural Treatment Systems (NTS), Talbert Lake rehabilitation, groundwater recharge enhancements, educational exhibit, and monitoring. NTS, the proposed project's primary treatment technology is also referred to as a "constructed wetland". A NTS is an area that receives a constant water source with vegetated coverage and pool areas of varying depths. Following the NTS, the treated urban runoff will be used for the rehabilitation of Talbert Lake, located on the east side of Goldenwest north of the Central Library.	An environmental assessment is currently underway.
3	Gothard Townhomes	A 19-unit residential townhome project located on the east side of Gothard Street south of Garfield Avenue.	The project is under construction.
4	Tuscany Residential	A 28-unit two-story townhome development located on the east side of Gothard Street south of Garfield Avenue.	The project is complete.
Projects Located More Than One Mile from Project Site			
5	Waterfront Third Hotel	Approved master site plan allows for an approximately 250-room hotel located between the existing Waterfront Hilton and the Hyatt Regency Huntington Beach Resort and Spa along Pacific Coast Highway.	No formal plans for the proposed project have been submitted.
6	The Strand	135,000 sf of retail, restaurant, and entertainment plus a 149-room hotel located at Fifth Street and Pacific Coast Highway.	Construction is currently underway.
7	Home Depot	Construction of 99,000 sf Home Depot and 25,000 sf Garden Center located at the southwest corner of Magnolia Street and Garfield Avenue.	Project is currently in Plan Check with the Department of Building and Safety.
8	Goldenwest College Master Plan	This project consists of an extensive improvement and building program to meet increasing enrollment needs and to update technology and outdated infrastructure. The project will include the renovation of older buildings, re-using existing buildings and the construction of new buildings, landscaping and infrastructure.	A Program Environmental Impact Report has been circulated.

Table 3-4 Cumulative Projects

<i>No.</i>	<i>Project Name</i>	<i>Major Project Features</i>	<i>Project Status</i>
9	Bella Terra—2nd Phase	Demolition of an existing 181,115 sf vacant, retail building and construction of a mixed use project consisting of approximately 156,955 sf of commercial, 503 residential units, and associated parking structures, landscaping, and infrastructure improvements. The residential units may be a mix of rental and ownership condominiums.	The developer has not formally submitted entitlement applications.
10	The Ripcurl mixed use project	A mixed use project proposed at the southeast corner of Gothard Street and Center Avenue. The project consists of 10,000 to 15,000 sf of commercial uses on the ground floor and 500 residential units above the ground floor (five stories).	The developer has not formally submitted entitlement applications for the project.
11	Beach/Edinger Corridor Study	The City of Huntington Beach is beginning work on a new vision and new zoning for properties along Beach Boulevard and Edinger Avenue. The study will assess development opportunities for the Beach Boulevard/Edinger Avenue corridor. Currently, community meetings are being held with City officials, stakeholders, citizens and City staff to determine specifications to guide land use and development intensity, site layout, building design, site landscaping and signage.	Community meetings underway.
12	Brightwater Annexation	The Brightwater residential project consists of 349 single-family units on 105.3 acres of the upper bench portion of Bolsa Chica. The property is currently in unincorporated Orange County but the City is in the process of annexing the property.	The project is under construction, and the City is in the process of processing the entitlements for the annexation and specific plan.
13	Pacific City	31-acre mixed use project, including retail/office/restaurant and 516 residential units, located along PCH between Huntington and First Streets.	Project is currently under construction.
14	Blue Canvas	A 204 multi-family residential project with a 2-acre public park located west of Newland Street, north of Hamilton Avenue and south of Lomond Drive.	Project has been approved by City Council and grading is underway.
15	Parkside Estates	A 171-unit single-family residential project with 14.4 acres of proposed park/open space located on 50 acres on the west side of Graham St., south of Warner Ave.	The project has been approved by the City Council and is under consideration by the Coastal Commission.
16	Newland Street Widening	Widening of Newland Street between Hamilton Avenue and PCH, including widening reinforced concrete bridge at Huntington Channel, installation of storm drain in Newland Street and various utility relocations.	The project has been approved and preparatory site work has commenced.

Table 3-4 Cumulative Projects

No.	Project Name	Major Project Features	Project Status
17	Poseidon Desalination Facility	The project, proposed by Poseidon Resources Corporation, consists of the construction and operation of a 50 million gallon per day seawater desalination facility on an 11-acre portion of the 22-acre HBGS facility located at 21730 Newland Street, off Pacific Coast Highway. On November 27, 2006, a Superior Court Judge upheld the findings in the City's Environmental Impact Report (EIR) for the Poseidon Resources Desalination project.	The Conditional Use Permit and Coastal Development Permit applications for the Poseidon Desalination Project were approved by the City Council on February 27, 2006 and the Coastal Development Permit is on appeal at the Coastal Commission. There are additional project permits that must also be approved by multiple government agencies before construction can begin.
18	Magnolia Pacific Specific Plan (Ascon/Nesi Landfill)	Project site allowing 502 dwelling units on approximately 40 acres located at the southwest corner of Hamilton Avenue and Magnolia Street.	The Department of Toxic Substances Control is the lead agency for the clean-up of the site and is currently preparing a remedial action plan and environmental document for the site.
19	Lowes Retail Pad	A proposal to amend a previously approved CUP to allow a maximum building area of 14,200 sf in lieu of the maximum 8,500 sf that was previously approved. The project site is located at 8291 Warner Avenue on the north side of Warner Avenue east of Beach Boulevard.	The project is under construction.
20	Toyota Dealership	This project, located on Beach Boulevard north of Garfield, involves the replacement of the existing vehicle sales and service building and improvements with a new 39,500 sf vehicle sales and service building and an attached five-level parking structure. When complete, the new facility will provide capacity for up to 465 vehicles.	Project is currently under construction.
21	Southeast Water Reservoir	5-acre site north of the AES plant for a water reservoir to serve the southeast portion of the City and would include a 10-million gallon tank, approximately 30 to 35 feet high and 225 feet in diameter, along with associated booster pump station.	Project is in conceptual phase.
22	Orange Coast River Park	Passive park which extends east from the AES power plant through Costa Mesa and Newport Beach.	Project is in planning stage.

SOURCE: City of Huntington Beach. Written communication from Jennifer Villaseñor, April 2007.

3.9 REFERENCES

City of Huntington Beach. *Request for Proposal to Prepare an EIR for the Huntington Beach Senior Center*. December 2006.

City of Huntington Beach. 1999. Draft Master Environmental Impact Report for Master Plan of Recreation Uses for Central Park. February, 26.

Personal Communication with Jennifer Villaseñor, Associate Planner with City of Huntington Beach.

